

# SERRA

MTX 40 / BSC 26 AREA  
MCE  
5156 SANTO ROAD  
SAN DIEGO, CALIFORNIA 92124

OVERALL HEIGHT: 35'-0"

## PROJECT TEAM

### SITE ACQUISITION

PLANCOM, INC.  
302 STATE PLACE  
ESCONDIDO, CALIFORNIA 92029  
CONTACT: GREG MOORAD  
TELEPHONE: (858) 603-2336

### PLANNING

PLANCOM, INC.  
302 STATE PLACE  
ESCONDIDO, CALIFORNIA 92029  
CONTACT: KERRIGAN DIEHL  
TELEPHONE: (760) 587-3003

### ARCHITECT:

JEFFREY ROME & ASSOCIATES  
131 INNOVATION DRIVE, SUITE 100  
IRVINE, CALIFORNIA 92617  
CONTACT: JEFFREY ROME  
TELEPHONE: (949) 760-3929

### SURVEYOR:

A.J. KOLTAVARY CIVIL ENGINEERS  
3 NINOS  
IRVINE, CALIFORNIA 92620  
CONTACT: ANDREW KOLTAVARY  
TELEPHONE: (714) 624-9027

### UTILITY COORDINATOR:

TRIAD GROUP  
CONTACT: ALAN GEORGE  
TELEPHONE: (760) 716-3483

### PROFESSIONAL ENGINEER:

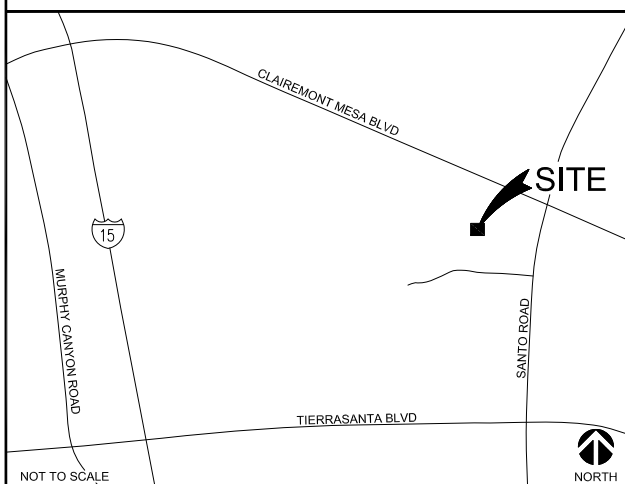
PEYTON-TOMITA & ASSOCIATES, LLC  
28562 OSO PARKWAY, D-407  
RANCHO SANTA MARGARITA, CA 92688  
CONTACT: MARK TOMITA  
TELEPHONE: (949) 842-6000

## PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- NEW VERIZON WIRELESS 472 SQ. FT. LEASE AREA
- (1) NEW VERIZON WIRELESS 20'-0" x 23'-4" CMU BLOCK WALL EQUIPMENT ENCLOSURE
- (1) NEW VERIZON WIRELESS 15KW / 54 GALLON DIESEL STANDBY GENERATOR ON NEW CONCRETE PAD
- (1) NEW VERIZON WIRELESS ELECTRICAL METER
- (1) NEW VERIZON WIRELESS 35'-0" TALL MONOEUCALYPTUS
- (12) NEW VERIZON WIRELESS 6' TALL PANEL ANTENNAS
- (12) NEW VERIZON WIRELESS RRUS12 + A2
- (2) NEW VERIZON WIRELESS RAYCAPS NEAR ANTENNAS
- NEW UTILITY RUNS FOR TELEPHONE AND ELECTRICAL SERVICE
- NEW RUNS FOR COAX CABLES

## VICINITY MAP



## DRIVING DIRECTIONS

FROM: VERIZON OFFICE 5156 SANTO ROAD  
SAN DIEGO, CALIFORNIA 92124

DEPART SAND CANYON AVE TOWARD BARRANCA PKWY (1.0 MI), TAKE RAMP RIGHT FOR I-405 SOUTH TOWARD SAN DIEGO (3.1 MI), KEEP STRAIGHT ONTO I-5 S (11.3 MI), AT EXIT 82, TAKE RAMP RIGHT FOR CA-74 TOWARD SAN JUAN CAPISTRANO (51.3 MI), KEEP LEFT ONTO I-805 S (4.8 MI), TAKE RAMP RIGHT AND FOLLOW SIGNS FOR CA-52 EAST (3.3 MI), AT EXIT 7, TAKE RAMP RIGHT AND FOLLOW SIGNS FOR I-15 SOUTH (1.3 MI), TURN LEFT ONTO CLAIREMONT MESA BLVD (1.0 MI), TURN RIGHT ONTO SANTO RD.

## PROJECT SUMMARY

### APPLICANT/LESSEE



15505 SAND CANYON AVENUE, D1  
IRVINE, CA 92618  
OFFICE: (949) 286-7000

### ASSESSOR'S PARCEL NUMBER

APN: 372-150-27

### APPLICANT'S REPRESENTATIVE

PLANCOM, INC.  
302 STATE PLACE  
ESCONDIDO, CALIFORNIA 92029  
CONTACT: GREG MOORAD  
TELEPHONE: (858) 603-2336

### PROPERTY OWNER:

OWNER: SAN DIEGO UNIFIED SCHOOL DISTRICT  
ADDRESS: 4100 NORMAL STREET  
SAN DIEGO, CALIFORNIA 92103  
CONTACT: DEBORA BEAVER  
TELEPHONE: (619) 725-7281

### PROPERTY INFORMATION:

SITE NAME: SERRA  
SITE ADDRESS: 5156 SANTO ROAD  
SAN DIEGO, CALIFORNIA 92124  
JURISDICTION: CITY OF SAN DIEGO AND DSA

### CONSTRUCTION INFORMATION

AREA OF CONSTRUCTION: 472 SQ. FT.  
OCCUPANCY: U

TYPE OF CONSTRUCTION: V-B  
CURRENT ZONING: RS-1-B

ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. MACHINERY SPACES ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS PER THE CBC SECTION 11B-203.5.

## GENERAL CONTRACTOR NOTES

### DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

## CODE COMPLIANCE

- 2013 CALIFORNIA ENERGY CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA GREEN BUILDING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- SHELTER IS STATE OF CALIFORNIA APPROVED AND INSPECTED, NOT FOR LOCAL INSPECTION.

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	P-5
LS-1	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)	0
LS-2	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)	0
A-0	SITE PLAN	P-5
A-1	ENLARGED SITE PLAN	P-5
A-1.1	PLANS AND ANTENNA SCHEDULE	P-5
A-1.2	BIOLOGICAL STUDY AREA	P-5
A-2	ELEVATIONS	P-5
A-2.1	ELEVATIONS	P-5
A-3	EQUIPMENT DETAILS	P-5
A-4	BIOLOGICAL RESOURCES MAP	P-5
L-1	LANDSCAPE PLAN	P-4
<b>ZONING DRAWINGS</b>		



Know what's below.  
Call before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (SOUTH), CALL DIG ALERT  
TOLL FREE: 1-800-227-2600 OR  
www.dlgalert.org  
CALIFORNIA STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

## ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
P1	09/09/15	90% ZONING	IB
P2	09/16/15	100% ZONING	IB
P3	11/04/15	100% ZONING	IB
P4	01/11/16	STAFF COMMENTS	IB
P5	02/02/16	UTILITY COMMENTS	IB



Jeffrey Rome | ASSOCIATES  
architecture | telecommunications  
131 Innovation Drive, Suite 100  
Irvine, California 92617  
tel 949.760.3929 | fax 949.760.3931

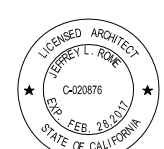
### PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED



15505 SAND CANYON AVENUE, D1  
IRVINE, CA 92618



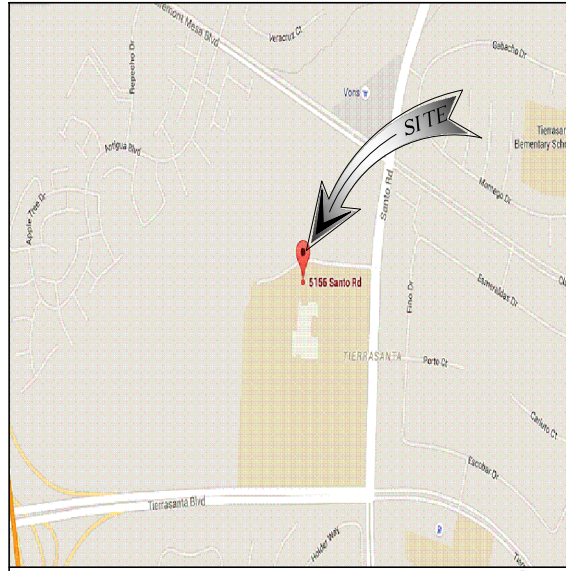
5156 SANTO ROAD  
SAN DIEGO, CA 92124

SHEET TITLE:  
TITLE SHEET

T-1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE AND DATE NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

JRA JOB NUMBER: 150620



VICINITY MAP

**LEGAL DESCRIPTION**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF LOTS 17, 21, 22, 23 AND 32 OF ROSEDALE TRACT, ACCORDING TO MAP THEREOF NO. 825, AND PORTIONS OF THE UNNAMED STREET LYING BETWEEN SAID LOTS 22 AND 23; TOGETHER WITH THOSE PORTIONS OF LOTS 1 TO 8 INCLUSIVE OF BLOCK 19, PORTIONS OF THE UNNAMED STREET ADJACENT NORTHERLY TO LOTS 4 AND 5 OF SAID BLOCK 19, PORTIONS OF THE UNNAMED NORTH-SOUTH STREET IN SAID BLOCK 19, AND PORTIONS OF THE UNNAMED EAST-WEST STREET ADJACENT SOUTHERLY TO LOT 1 OF BLOCK 19; LOTS 1 TO 9 INCLUSIVE OF BLOCK 20 AND PORTIONS OF THE UNNAMED STREET ADJACENT NORTHERLY TO LOTS 6, 7 AND 8 OF SAID BLOCK 20; OF THE SUBDIVISION OF LOTS 14, 16, 18, 19 AND 20, ROSEDALE TRACT, ACCORDING TO MAP NO. 857 BOTH SAID MAPS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 1, SAID ROSEDALE TRACT; THENCE SOUTH 89°00'45" EAST, 1964.08 FEET; THENCE NORTH 00°51'06" EAST, 1172.05 FEET; THENCE SOUTH 89°08'54" EAST, 544.85 FEET; THENCE SOUTH 14°30'00" WEST, 4962.23 FEET; THENCE NORTH 66°09'41" WEST, 783.51 FEET; THENCE SOUTH 23°50'19" WEST, 51.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 62°24'10" WEST, 191.58 FEET; THENCE SOUTH 50°02'42" WEST, 2211.21 FEET; THENCE SOUTH 43°08'19" WEST, 1714.04 FEET TO A POINT IN THE ARC OF AN 800.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY; THENCE SOUTHEASTERLY, EASTERLY AND NORTHEASTERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 57°38'04" AN ARC DISTANCE OF 804.72 FEET TO A POINT HEREBY DESIGNATED AS "POINT ZM"; THENCE TANGENT TO SAID CURVE, NORTH 60°00'00" EAST, 348.73 FEET; THENCE NORTH 70°00'54" EAST, 279.90 FEET TO THE BEGINNING OF A TANGENT 1551.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHEASTERLY AND EASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 19°59'06" AN ARC DISTANCE OF 541.00 FEET; THENCE TANGENT TO SAID CURVE, DUE EAST, 1108.10 FEET TO THE BEGINNING OF A TANGENT 549.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE EASTERLY, NORTHEASTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 86°45'00" AN ARC DISTANCE OF 831.23 FEET; THENCE TANGENT TO LAST SAID CURVE, NORTH 03°15'00" EAST, 836.12 FEET TO THE BEGINNING OF A TANGENT 2051.00 RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY, ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 08°32'43" AN ARC DISTANCE OF 305.89 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 549.00 FEET; THENCE NORTHERLY AND NORTHWESTERLY, ALONG THE ARE OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 77°57'24"; A DISTANCE OF 746.97 FEET; THENCE TANGENT TO LAST SAID CURVE, NORTH 66°09'41" WEST, 277.05 FEET TO A POINT HEREBY DESIGNATED AS "POINT ZN" BEING ALSO THE SAID TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE UNITED STATES OF AMERICA FOR FREEWAY PURPOSES, BY DEED RECORDED FEBRUARY 19, 1976 AS INSTRUMENT NO. 76-048100, AS CORRECTED BY AN INSTRUMENT RECORDED AUGUST 21, 1979 AS INSTRUMENT NO. 79-350327 BOTH OF OFFICIAL RECORDS. TOGETHER WITH THAT PORTION OF TIERRASANTA BOULEVARD (FORMERLY BALBOA AVENUE) IN LOT 23, ROSEDALE TRACT, MAP NO. 825; AND CLAIREMONT MESA BOULEVARD (FORMERLY MOUND AVENUE) IN LOTS 3 AND 5, BLOCK 19, RESUBDIVISION OF LOTS 14, 16, 18, 19 AND 20 IN ROSEDALE TRACT, MAP NO. 857 VACATED; BY THE

**SITE ADDRESS**

5156 SANTO ROAD, SAN DIEGO, CA 92124

**APN**

372-150-27

**SCHEDULE B EXCEPTION**

ITEMS A-C ARE TAXES & LIENS RELATED  
 ITEM 1 IS WATER RIGHT RELATED  
 ITEMS 3, 4, 7, 8, 11, 12, 13, 14 & 16 ARE COVENANT, CONDITIONS AND MATTER RELATED  
 ITEM 17 IS UNRECORDED LEASE RELATED  
 ITEMS 18 & 19 ARE CLAIMS RELATED  
 ITEM 20 IS UNDISCLOSED TITLE RELATED  
 ITEM 21 IS RIGHT RELATED

- △ EASEMENT(S) IN FAVOR OF THE PUBLIC OVER ANY EXISTING ROADS LYING WITHIN SAID LAND. DOES NOT AFFECT VERIZON LEASE AREA.
- △ EASEMENT(S) IN FAVOR OF THE PUBLIC OVER ANY EXISTING ROADS LYING WITHIN SAID LAND. DOES NOT AFFECT VERIZON LEASE AREA.
- △ THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT, RECORDING DATE: FEBRUARY 19, 1976 RECORDING NO: AS INSTRUMENT NO. 76-048100 OF OFFICIAL RECORDS AFFECTS: ADJACENT HIGHWAY DOES NOT AFFECT VERIZON LEASE AREA.
- △ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: STATE OF CALIFORNIA PURPOSE: A TEMPORARY CONSTRUCTION EASEMENT RECORDING DATE: MARCH 20, 1980 RECORDING NO: AS INSTRUMENT NO. 80-094911 OF OFFICIAL RECORDS AFFECTS: PORTIONS OF SAID LAND DOES NOT AFFECT VERIZON LEASE AREA.
- △ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: CITY OF SAN DIEGO PURPOSE: WATER MAIN OR MAINS RECORDING DATE: MAY 21, 1981 RECORDING NO: AS INSTRUMENT NO. 81-159267 OF OFFICIAL RECORDS AFFECTS: PORTIONS OF SAID LAND DOES NOT AFFECT VERIZON LEASE AREA.
- △ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: CITY OF SAN DIEGO, A MUNICIPAL CORPORATION PURPOSE: TRAFFIC LIGHT SIGNALIZATION RECORDING DATE: DECEMBER 22, 1997 RECORDING NO: AS INSTRUMENT NO. 1997-0651004 OF OFFICIAL RECORDS AFFECTS: SAID LAND MORE PARTICULARLY DESCRIBED THEREIN. DOES NOT AFFECT VERIZON LEASE AREA.

**VERIZON LEASE AREA TO BE DETERMINED**

**RECORD OWNER**

SAN DIEGO UNIFIED SCHOOL DISTRICT OF SAN DIEGO COUNTY, CALIFORNIA, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA

**TITLE REPORT**

A PRELIMINARY TITLE REPORT WAS PREPARED BY COMMONWEALTH LAND TITLE COMPANY FILE NO. 08025990 DATED JULY 24, 2015.

**BASIS OF BEARING**

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 6.

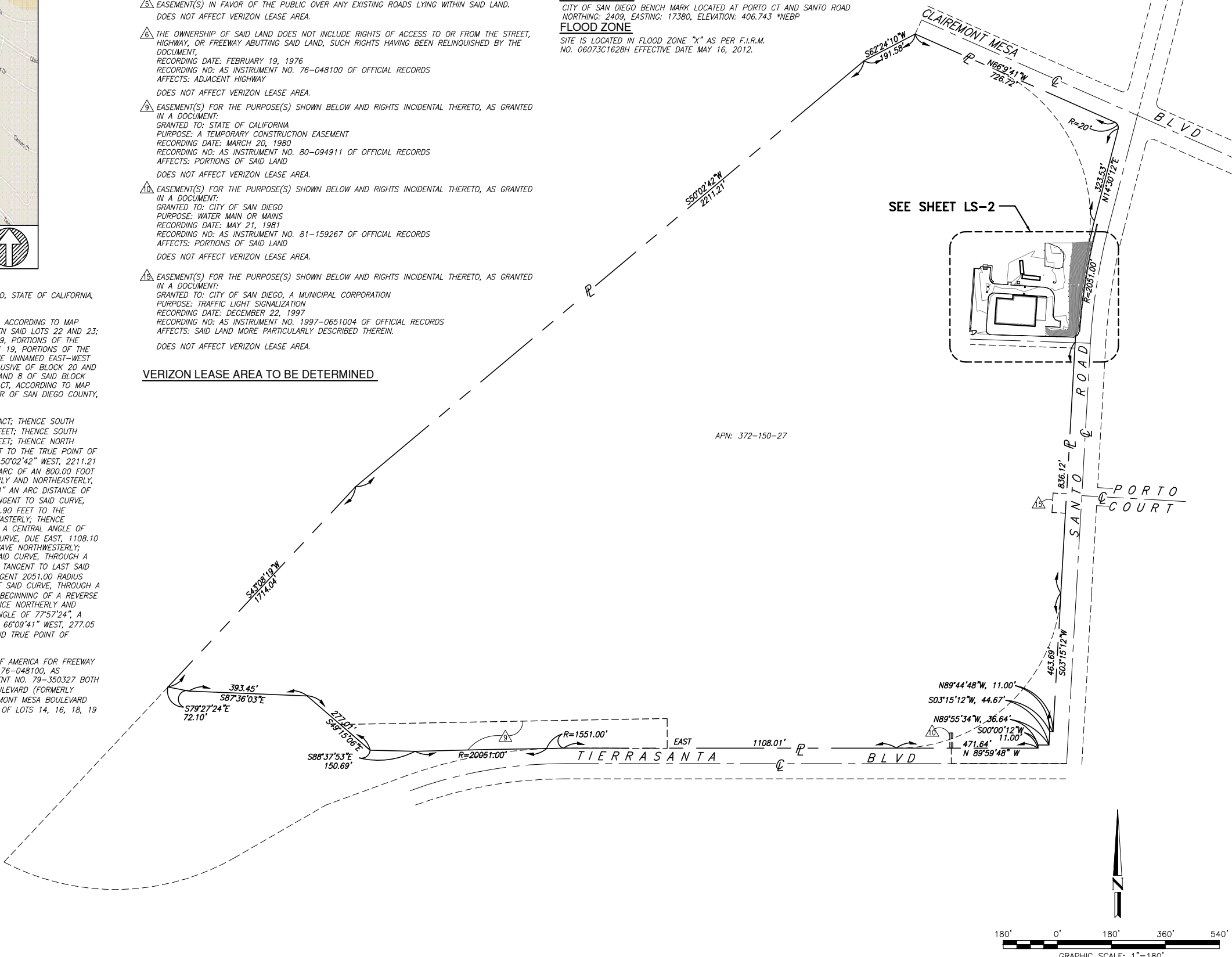
**BENCH MARK**

CITY OF SAN DIEGO BENCH MARK LOCATED AT PORTO CT AND SANTO ROAD NORTHING: 2409, EASTING: 17380, ELEVATION: 406.743 \*NEBP

**FLOOD ZONE**

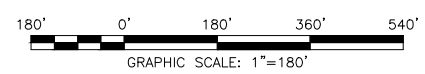
SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. NO. 06073C1628H EFFECTIVE DATE MAY 16, 2012.

**BOUNDARY DETAIL**



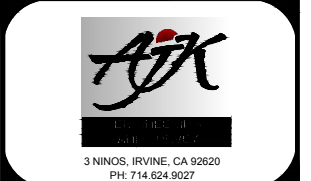
SEE SHEET LS-2

APN: 372-150-27



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	08/19/15	FINAL SURVEY	JP



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**SERRA**  
 5156 SANTO ROAD  
 SAN DIEGO, CA 92124

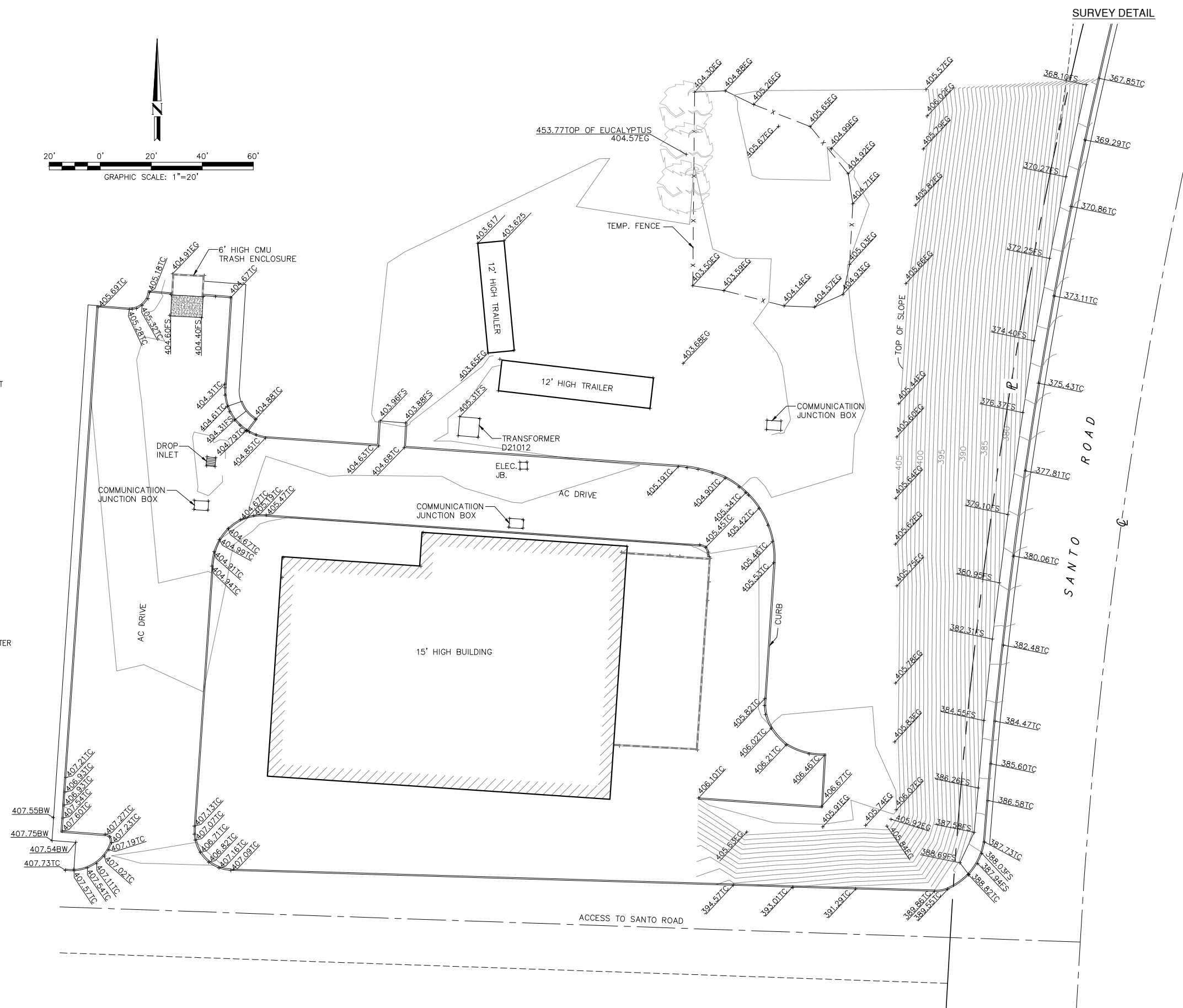
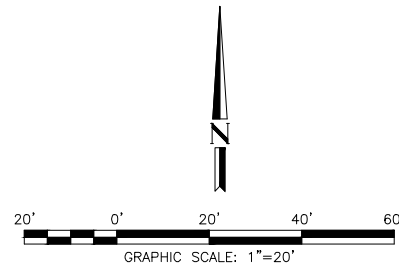
**SHEET TITLE:**  
 TOPOGRAPHIC SURVEY

**LS-1**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RIND IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

**LEGEND**

- CENTER LINE
- - - PROPERTY LINE
- x-x-x- CHAIN-LINK FENCE
- - - WOOD FENCE
- - - EASEMENT LINE
- G- GAS LINE
- S- SEWER LINE
- W- WATER LINE
- T- TELEPHONE CABLE
- WOOD WALL
- CMU WALL
- EDGE OF PAV'T
- EXISTING GROUND
- FOUND
- GUY WIRE ANCHOR
- EDGE OF PAVEMENT
- FLOW LINE
- FINISH SURFACE
- HEIGHT
- NATURAL GRADE
- ROOF GRADE
- RAISED PLATFORM
- MAIL BOX
- PROPERTY LINE
- POWER POLE
- PULL BOX
- SANITARY SEWAGE CLEANOUT
- STREET SIGN/STOP SIGN
- STORM DRAIN MAN HOLE
- SIGN
- TOP OF CURB
- TOP OF WALL
- TOP OF ANTENNA
- UNDERGROUND ACCESS
- BACK FLOW PREVENTER
- WATER METER
- WATER VALVE
- EXISTING LIGHT
- EXISTING ELECTRICAL MH
- EXISTING POLE
- EXISTING STREET LIGHT
- EXISTING SATELLITE DISH
- EXISTING CONDENSER
- ROOF DRAIN
- EXISTING TELE. MANHOLE
- EXISTING WATER METER
- EXISTING BACKFLOW PREVENTER
- EXISTING SIGN
- EXISTING TRAFFIC SIGNAL
- EXISTING ANTENNA
- EXISTING MICROWAVE DISH
- EXISTING SEWER MANHOLE
- POWER POLE
- GUY WIRE ANCHOR
- CATCH BASIN
- FIRE HYDRANT
- VALVE (UTILITY)
- TREE
- PINE TREE
- BUSH
- PALM TREE
- EXISTING CONCRETE
- EXISTING GRASS/TURF
- MONUMENT FD. (AS NOTED)



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	08/19/15	FINAL SURVEY	JP



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**SERRA**  
 5156 SANTO ROAD  
 SAN DIEGO, CA 92124

**SHEET TITLE:**  
 TOPOGRAPHIC SURVEY

**LS-2**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE PRINT IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

JRA JOB NUMBER: 150620

**KEYNOTES**

- 1 PROPOSED VZW EQUIPMENT, ANTENNAS AND UTILITY AREA; SEE SHEET A-1.
- 2 EXISTING INGRESS/EGRESS AND VZW ACCESS POINT.
- 3 EXISTING PARKING LOT.
- 4 EXISTING PROPERTY LINE, TYPICAL; SEE SHEETS LS-1 & LS-2.
- 5 EXISTING EASEMENT; SEE SHEETS LS-1 & LS-2.
- 6 EXISTING BUILDING.
- 7 EXISTING FOOTBALL FIELD.
- 8 EXISTING BASKETBALL COURTS.
- 9 EXISTING TENNIS COURTS.
- 10 EXISTING BASEBALL FIELD.

**GENERAL NOTES**

- A. SETBACKS:  
FRONT: 25'  
SIDE: 10'  
STREET SIDE: 20'  
REAR: 10'
- B. EASEMENTS:  
SEE SHEETS LS-1 & LS-2.
- C. FREQUENCY:  
OPERATING FREQUENCIES: 698-2360.
- D. TOTAL IMPERVIOUS AREA BEFORE CONSTRUCTION: 1,183,600 SQ. FT.  
TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION: 1,184,490 SQ. FT.
- E. TOTAL AREA DISTURBED:  
WALL FOOTING: 132 SQ. FT.  
UTILITY TRENCHING: 758 SQ. FT.
- PROPOSED VZW EQUIPMENT AREA: 472 SQ. FT.
- F. TOTAL LEASE AREA: 472 SQ. FT.
- G. A/C UNIT MANUFACTURER, CARRIER MODEL: N/A.
- H. GENERATOR MANUFACTURER POLAR POWER MODEL NUMBER 82204-3TNV88-101
- I. SITE CONTRACTOR TO CALL DIG ALERT (1-800-227-2600) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- J. (E) LANDSCAPE: SHRUBS.

**STORM WATER QUALITY NOTES CONSTRUCTION BMP'S**

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB) AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007 ([HTTP://WWW.SWRCB.CA.GOV/WATERISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.SHTML](http://www.swrcb.ca.gov/WATERISSUES/PROGRAMS/STORMWATER/CONSTRUCTION.SHTML)), AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE [HTTP://DOCS.SANDIEGO.GOV/MUNICODE/MUNICODECHAPTER14/CH14ART02DIVISION02.PDF](http://docs.sandiego.gov/municode/municodechapter14/ch14art02division02.pdf) AND STORM WATER MANUAL [HTTP://WWW.SANDIEGO.GOV/DEVELOPMENT-SERVICES/PDF/NEWS/STORMWATERMANUAL.PDF](http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREE(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

**NOTES:**

1. THIS PROJECT IS ON SAN DIEGO UNIFIED SCHOOL DISTRICT PROPERTY. REVIEW AND APPROVAL OF PLANS FOR THE PROPOSED IMPROVEMENTS ARE UNDER THE JURISDICTION OF THE DIVISION OF THE STATE ARCHITECT.
2. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

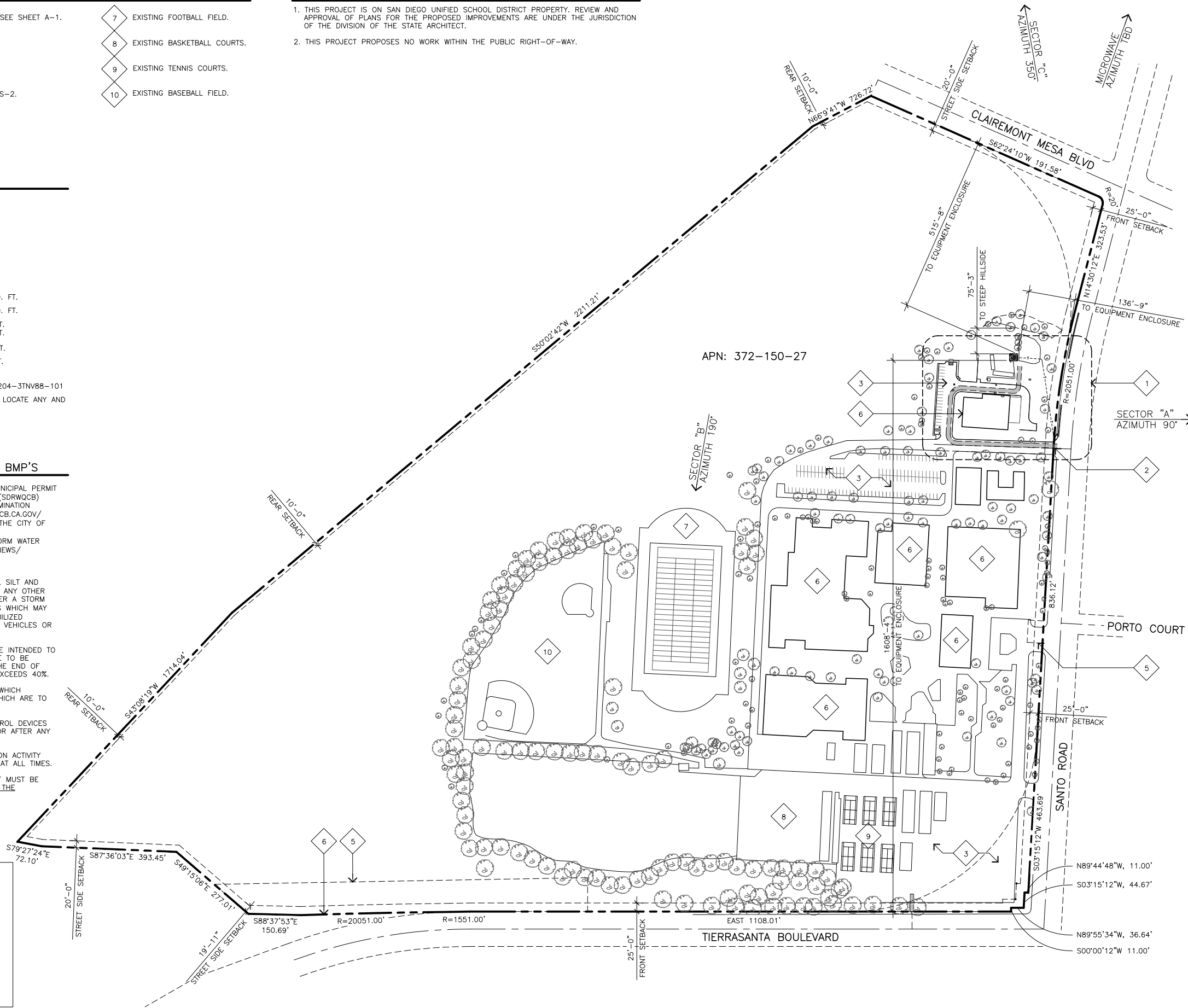


**GRADING TABLE:**

EQUIPMENT AREA  
CUT: 28.89 C.Y.  
EXPORT: 28.89 C.Y.  
MAX. DEPTH: 3'-0"

ANTENNA STEALTH STRUCTURE AREA  
CUT: 12.36 C.Y.  
EXPORT: 12.36 C.Y.  
MAX. DEPTH: 17'-0"

UTILITY TRENCHING  
CUT: 138.89 C.Y.  
EXPORT: 138.89 C.Y.  
MAX. DEPTH: 5'-0"



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
P1	09/09/15	90% ZONING	IB
P2	09/16/15	100% ZONING	IB
P3	11/04/15	100% ZONING	IB
P4	01/11/16	STAFF COMMENTS	IB
P5	02/02/16	UTILITY COMMENTS	IB

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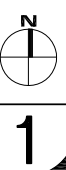
**SERRA**  
 5156 SANTO ROAD  
 SAN DIEGO, CA 92124

SHEET TITLE:  
**OVERALL SITE PLAN**

**A-0**

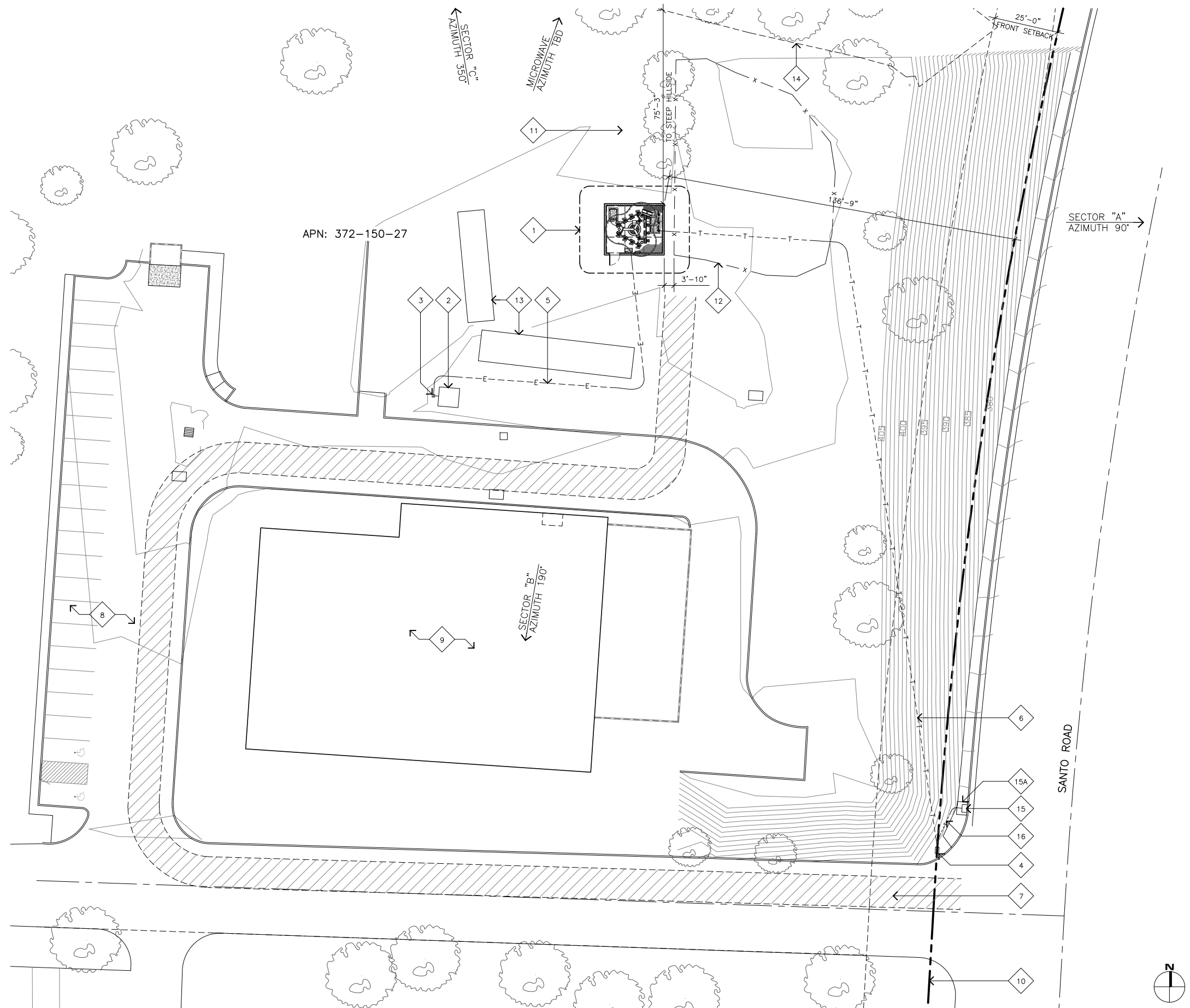
**OVERALL SITE PLAN**

SCALE:  
 1" = 150'    0 37.5' 75' 150'



**KEYNOTES**

- 1 PROPOSED VZW MCE EQUIPMENT CABINETS AND ANTENNA STEALTH STRUCTURE WITHIN PROPOSED 20'x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE; SEE SHEET A-1.1.
- 2 EXISTING TRANSFORMER #D21012 1266-660 AND PROPOSED VZW POWER SOURCE.
- 3 PROPOSED VZW 100A 277/480V ELECTRICAL METER PEDESTAL.
- 4 PROPOSED VZW 17"x30" PULL BOX AT PROPERTY LINE AND PROPOSED VZW TELCO SOURCE.
- 5 PROPOSED VZW POWER TRENCH; APPROXIMATELY 150 LINEAR FEET.
- 6 PROPOSED CROWN CASTLE FIBER RUN IN PROPOSED VZW TELCO TRENCH; APPROXIMATELY 430 LINEAR FEET. (VZW TO PROVIDE PULL ROPE THRU EXISTING CONDUIT TO PROPOSED FTP EQUIPMENT).
- 7 EXISTING INGRESS/EGRESS AND VZW ACCESS POINT.
- 8 EXISTING PARKING LOT.
- 9 EXISTING BUILDING.
- 10 EXISTING PROPERTY LINE, TYPICAL; SEE SHEETS LS-1 & LS-2.
- 11 EXISTING TREE TO REMAIN, TYPICAL.
- 12 EXISTING CHAIN LINK FENCE.
- 13 EXISTING TRAILER.
- 14 EXISTING STEEP HILLSIDE.
- 15 PROPOSED CROWN CASTLE 2'-0"x3'-0" VAULT.
- 15A EXISTING SIDEWALK PANEL TO BE REMOVED AND REPLACED.
- 16 PROPOSED CROWN CASTLE 2"Ø FIBER CONDUIT; APPROXIMATELY 30'-0".



**ENLARGED SITE PLAN**

SCALE:  
1"=20'

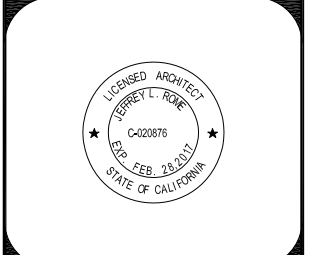


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P1	09/09/15	90% ZONING	IB
P2	09/16/15	100% ZONING	IB
P3	11/04/15	100% ZONING	IB
P4	01/11/16	STAFF COMMENTS	IB
P5	02/02/16	UTILITY COMMENTS	IB

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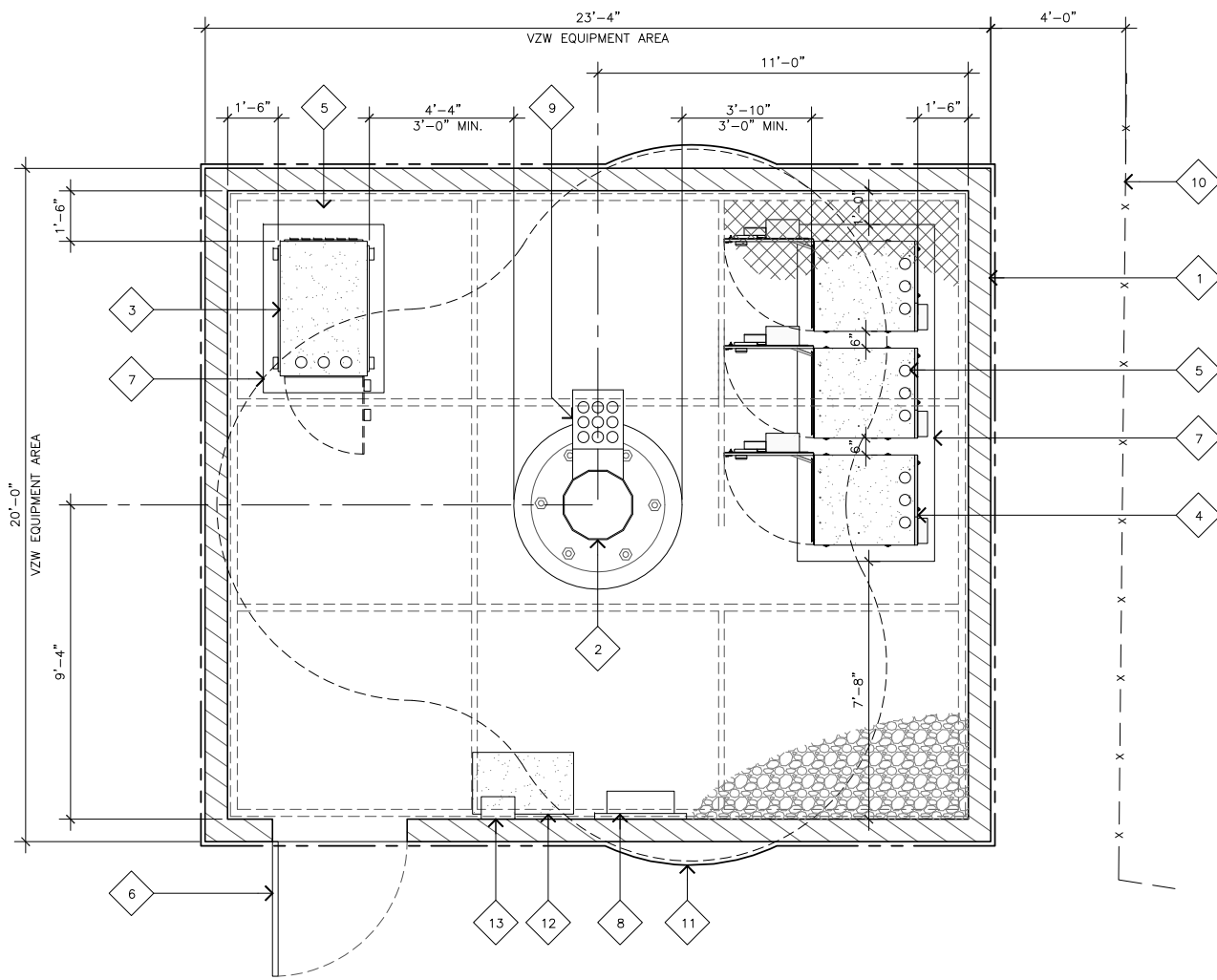
SHEET TITLE:  
**ENLARGED SITE PLAN**

**A-1**

JRA JOB NUMBER: 150620

**KEYNOTES**

- 1 PROPOSED VZW 20'-0"x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE WITH CHAIN LINK TOPPER.
- 2 PROPOSED VZW ANTENNA STEALTH STRUCTURE; SEE DETAIL 1/A-1.1.
- 3 PROPOSED VZW STAND-BY GENERATOR.
- 4 PROPOSED VZW MCE CABINET, TYPICAL. (VZW TO INSTALL CROWN CASTLE SUPPLIED FTP TO PROPOSED VZW EQUIPMENT CABINET).
- 5 PROPOSED VZW STUB-UPS, TYPICAL.
- 6 PROPOSED VZW 4'-0" SOLID METAL ACCESS GATE.
- 7 PROPOSED VZW CONCRETE PAD.
- 8 PROPOSED VZW AC POWER PANEL.
- 9 PROPOSED VZW CABLE SHROUD AT BASE OF POLE.
- 10 EXISTING CHAIN LINK FENCE.
- 11 PROPOSED VZW LEASE AREA; 472 SQ. FT.
- 12 PROPOSED VZW STEP-DOWN TRANSFORMER.
- 13 PROPOSED VZW TRANSFORMER DISCONNECT, ABOVE.



NOTE:  
ANTENNAS NOT SHOWN FOR CLARITY.

**ENLARGED EQUIPMENT PLAN**

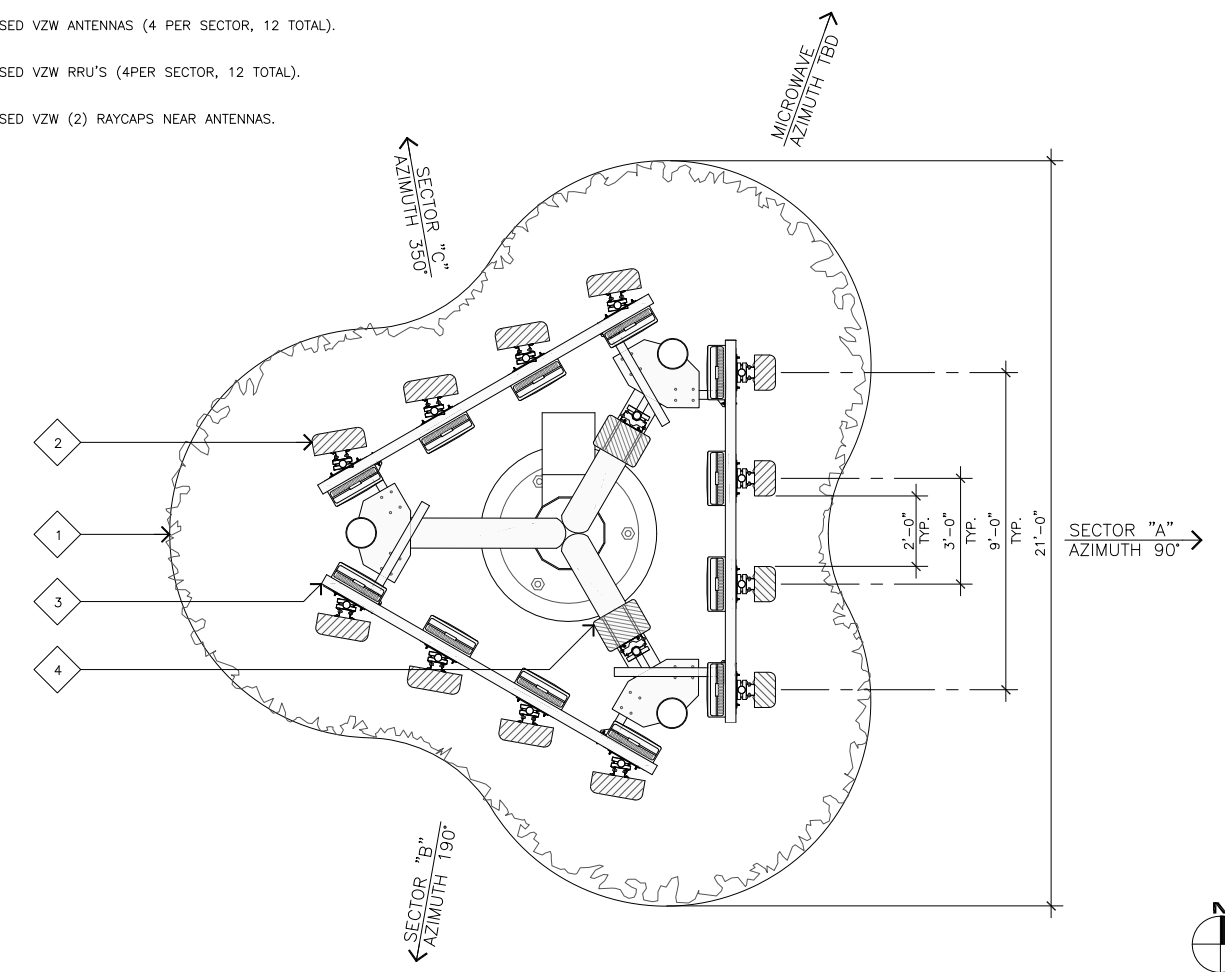
SCALE: 3/8"=1'-0"

**3**

**ANTENNA PLAN**

**KEYNOTES**

- 1 PROPOSED VZW 35'-0" HIGH AND 21'-0" WIDE, ANTENNA STEALTH STRUCTURE.
- 2 PROPOSED VZW ANTENNAS (4 PER SECTOR, 12 TOTAL).
- 3 PROPOSED VZW RRU'S (4 PER SECTOR, 12 TOTAL).
- 4 PROPOSED VZW (2) RAYCAPS NEAR ANTENNAS.



SCALE: 3/8"=1'-0"

**1**

**ANTENNA SCHEDULE SPECIFICATIONS**

SCALE: NONE **2**

FREQUENCY (MHZ)	698 - 2360
GAIN	18.3 dBd
HORIZONTAL BW(°)	58-69
VERTICAL BW(°)	4.5-12.1
POLARIZATION	SLANT ±45°
VSWR	≤1.5   14.0
SIZE:LXWXD(INCH/MM)	72.9X11.9X7.1/1851X301X181
CONNECTOR TYPE	6X7-16 DIN FEMALE
CONNECTOR LOCATION	BOTTOM

FREQUENCY (MHZ)	698 - 2360
GAIN	21.0 dBi
HORIZONTAL BW(°)	39-47
VERTICAL BW(°)	4.5-12.4
POLARIZATION	SLANT ±45°
VSWR	1.5   14.0
SIZE:LXWXD(INCH/MM)	72.0X18.0X7.0/1829X457X178
CONNECTOR TYPE	7-16 DIN FEMALE
CONNECTOR LOCATION	BOTTOM

ANTENNA SCHEDULE								
SECTOR	QUANTITY	AZIMUTH	PROPOSED ANTENNA SIZE	COAX CABLE	TOP OF ANTENNA	EST. LENGTH	TX/RX	DNTLT.
ALPHA	4	90° DEGREES	6'-1"	HYBRID	±31'	50'	TBD	0° DEGREES
BETA	4	190° DEGREES	6'-0"	HYBRID	±31'	50'	TBD	0° DEGREES
GAMMA	4	350° DEGREES	6'-0"	HYBRID	±31'	50'	TBD	0° DEGREES

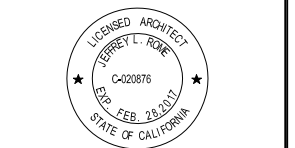
**ISSUE STATUS**

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P3	11/04/15	100% ZONING	IB
P4	01/11/16	STAFF COMMENTS	IB
P5	02/02/16	UTILITY COMMENTS	IB

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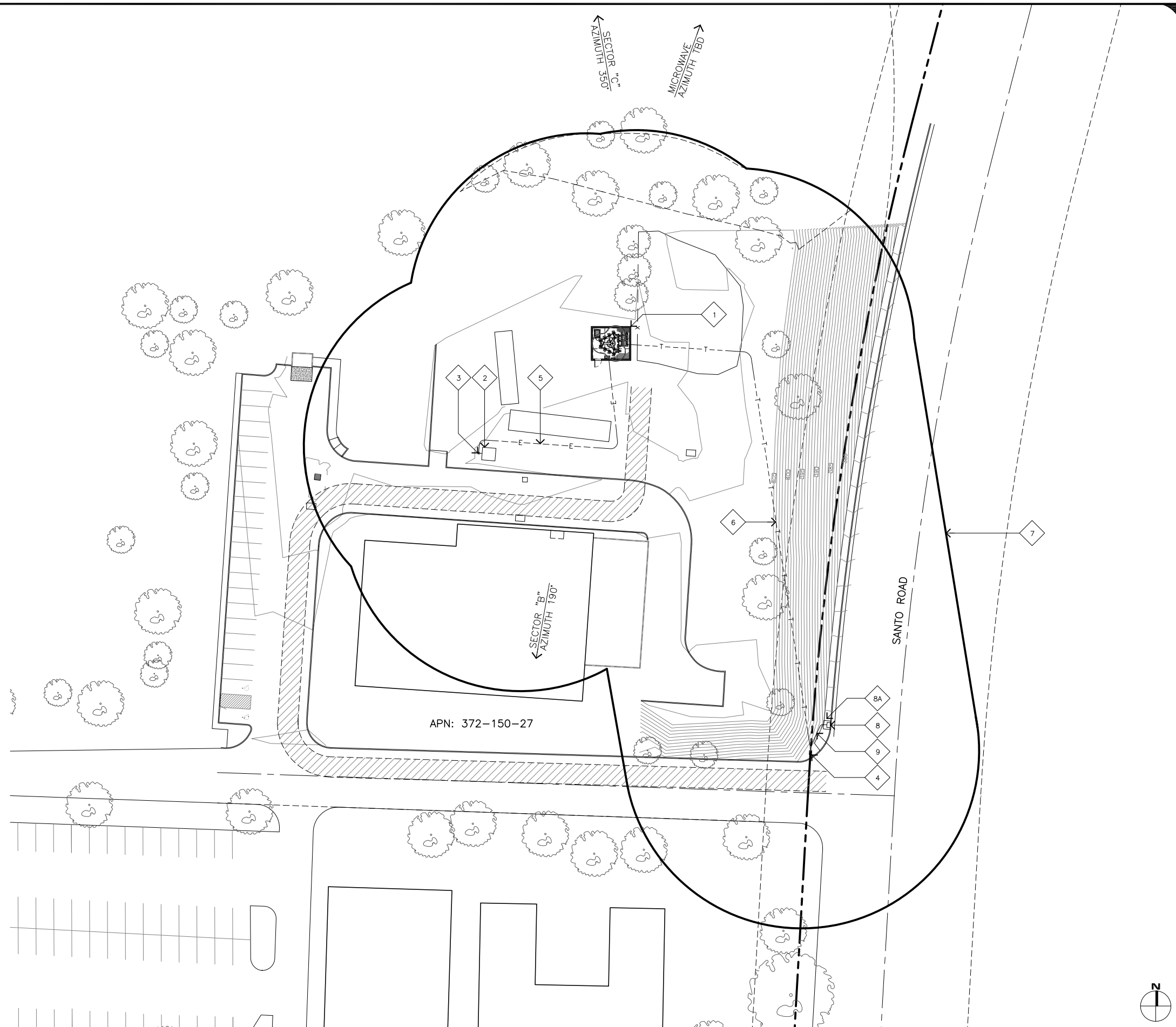
**SERRA**  
 51156 SANTO ROAD  
 SAN DIEGO, CA 92124

SHEET TITLE:  
**PLANS AND ANTENNA SCHEDULE**

**A-1.1**

**KEYNOTES**

- 1 PROPOSED VZW MCE EQUIPMENT CABINETS AND ANTENNA STEALTH STRUCTURE WITHIN PROPOSED 20'x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE; SEE SHEET A-1.1.
- 2 EXISTING TRANSFORMER #D21012 1266-660 AND PROPOSED VZW POWER SOURCE.
- 3 PROPOSED VZW 100A 277/480V ELECTRICAL METER PEDESTAL.
- 4 PROPOSED VZW 17"x30" PULL BOX AT PROPERTY LINE AND PROPOSED VZW TELCO SOURCE.
- 5 PROPOSED VZW POWER TRENCH; APPROXIMATELY 150 LINEAR FEET.
- 6 PROPOSED CROWN CASTLE FIBER RUN IN PROPOSED VZW TELCO TRENCH; APPROXIMATELY 430 LINEAR FEET. (VZW TO PROVIDE PULL ROPE THRU EXISTING CONDUIT TO PROPOSED FTP EQUIPMENT).
- 7 EXISTING AREA 100'-0" AWAY FROM ANY PROPOSED DISTURBED AREA; SEE SHEET A-4 FOR BIOLOGICAL RESOURCES MAP.
- 8 PROPOSED CROWN CASTLE 2'-0"x3'-0" VAULT.
- 8A EXISTING SIDEWALK PANEL TO BE REMOVED AND REPLACED.
- 9 PROPOSED CROWN CASTLE 2" FIBER CONDUIT.



**ISSUE STATUS**

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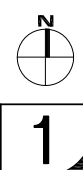
SHEET TITLE:  
**BIOLOGICAL STUDY AREA**

**A-1.2**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE AND DIMENSIONS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

**BIOLOGICAL STUDY AREA**

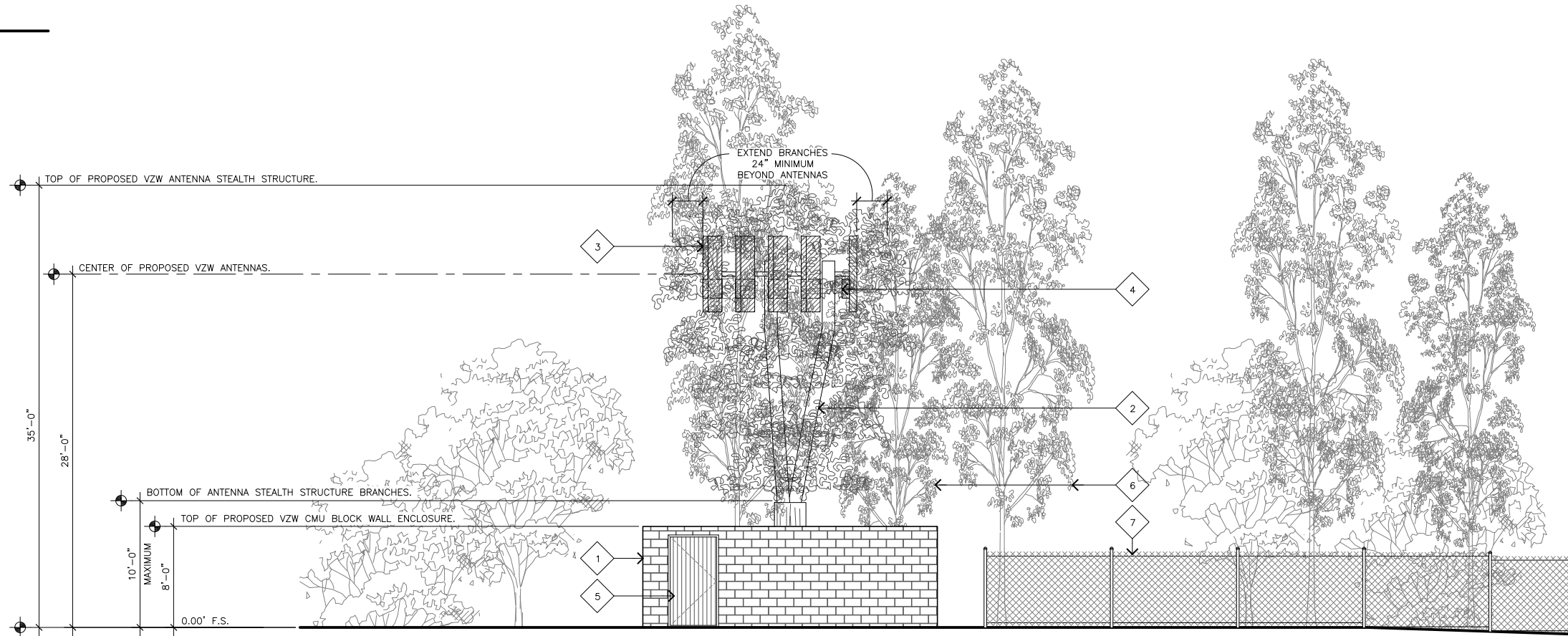
SCALE:  
 1"=30'



JRA JOB NUMBER: 150620

KEYNOTES

- 1 PROPOSED VZW 20'-0"x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE WITH CHAIN LINK TOPPER, TEXTURED TO MATCH EXISTING BUILDING.
- 2 PROPOSED VZW 35'-0" ANTENNA STEALTH STRUCTURE.
- 3 PROPOSED VZW ANTENNAS, (4 PER SECTOR 12 TOTAL).
- 4 PROPOSED VZW RRU'S (4 PER SECTOR 12 TOTAL).
- 5 PROPOSED VZW 4'-0" SOLID METAL ACCESS GATE.
- 6 EXISTING TREE TO REMAIN, TYPICAL.
- 7 EXISTING CHAIN LINK FENCE.

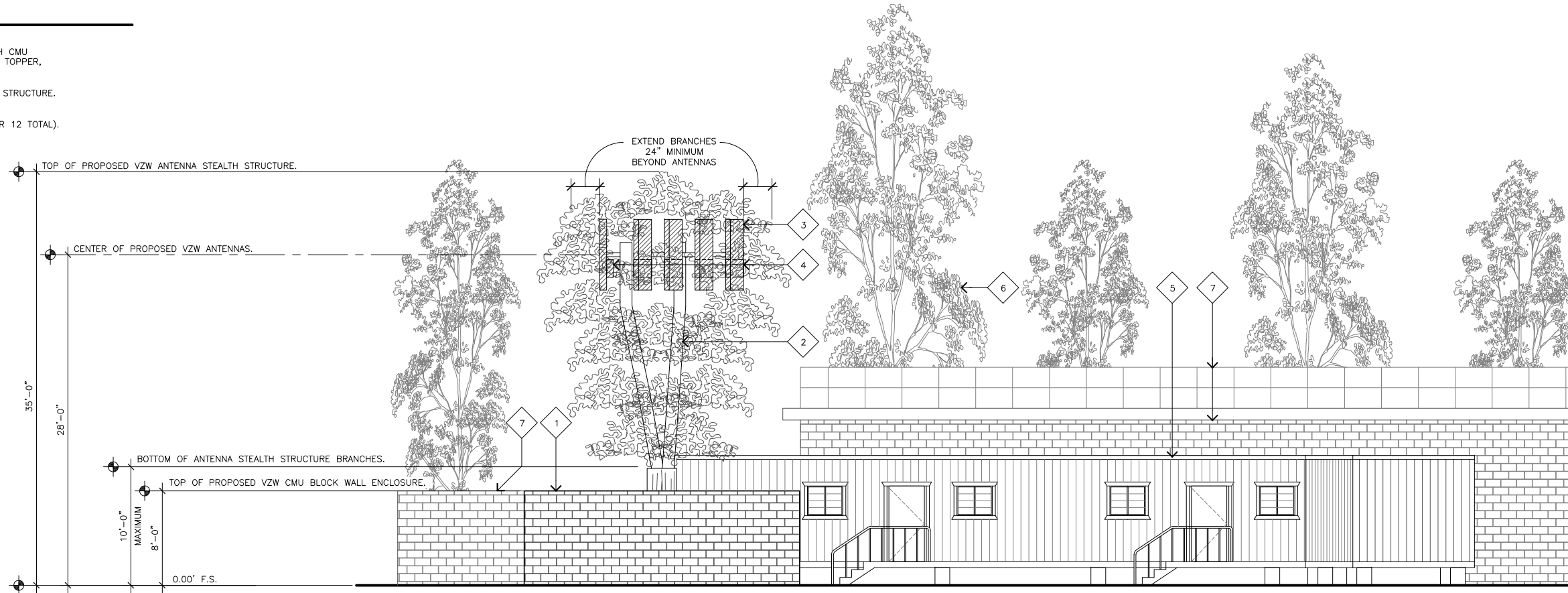


SOUTH ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6" 2

KEYNOTES

- 1 PROPOSED VZW 20'-0"x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE WITH CHAIN LINK TOPPER, TEXTURED TO MATCH EXISTING BUILDING.
- 2 PROPOSED VZW 35'-0" ANTENNA STEALTH STRUCTURE.
- 3 PROPOSED VZW ANTENNAS, (4 PER SECTOR 12 TOTAL).
- 4 PROPOSED VZW RRU'S (4 PER SECTOR 12 TOTAL).
- 5 EXISTING TRAILER.
- 6 EXISTING TREE (BEYOND), TYPICAL.
- 7 EXISTING BUILDING, (BEYOND).



NORTH ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6" 1

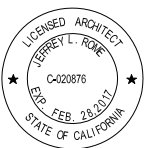
ISSUE STATUS

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P4	01/11/16	STAFF COMMENTS	IB
P5	02/02/16	UTILITY COMMENTS	IB

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SHEET TITLE:  
 ELEVATIONS

**A-2**

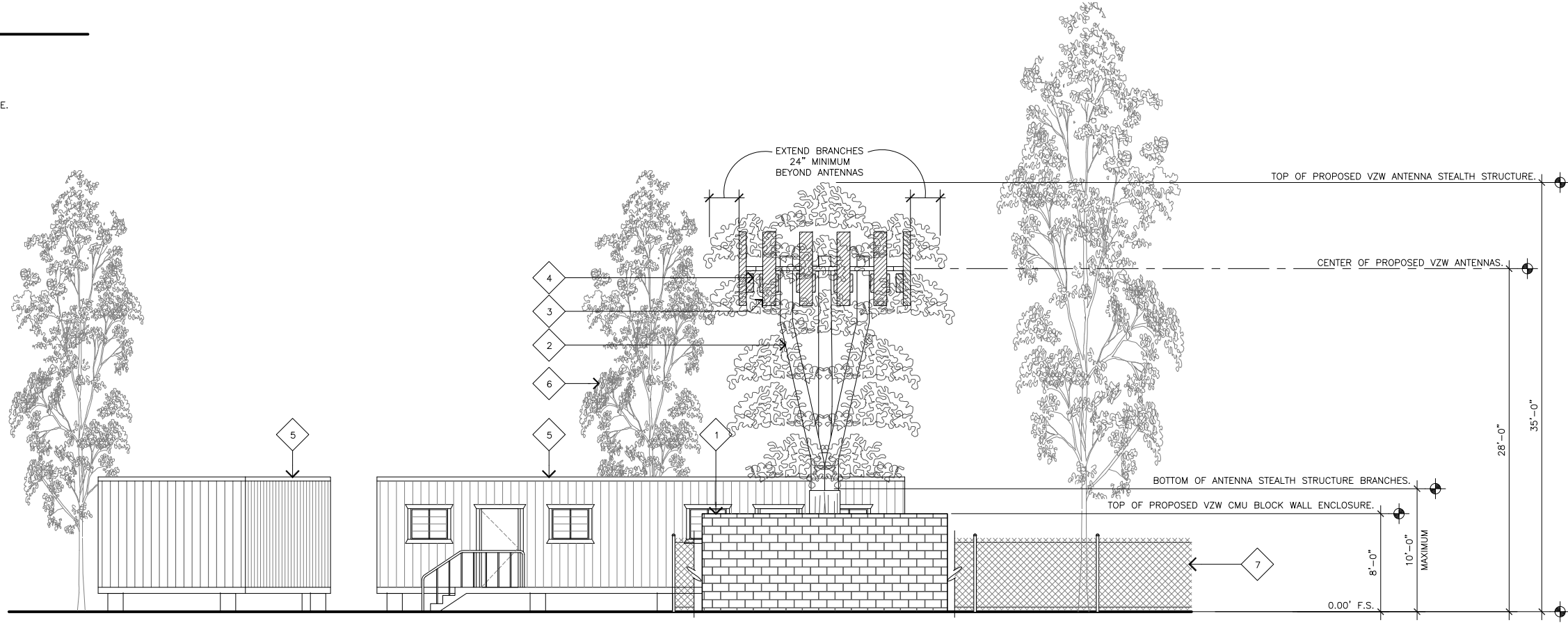
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE AND/OR DIMENSIONS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

JRA JOB NUMBER: 150620



KEYNOTES

- 1 PROPOSED VZW 20'-0"x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE WITH CHAIN LINK TOPPER, TEXTURED TO MATCH EXISTING BUILDING.
- 2 PROPOSED VZW 35'-0" ANTENNA STEALTH STRUCTURE.
- 3 PROPOSED VZW ANTENNAS AT SECTOR "A" (4 PER SECTOR 12 TOTAL).
- 4 PROPOSED VZW RRU'S (4 PER SECTOR 12 TOTAL).
- 5 EXISTING TRAILER.
- 6 EXISTING TREE (BEYOND), TYPICAL.
- 7 EXISTING CHAIN LINK FENCE.

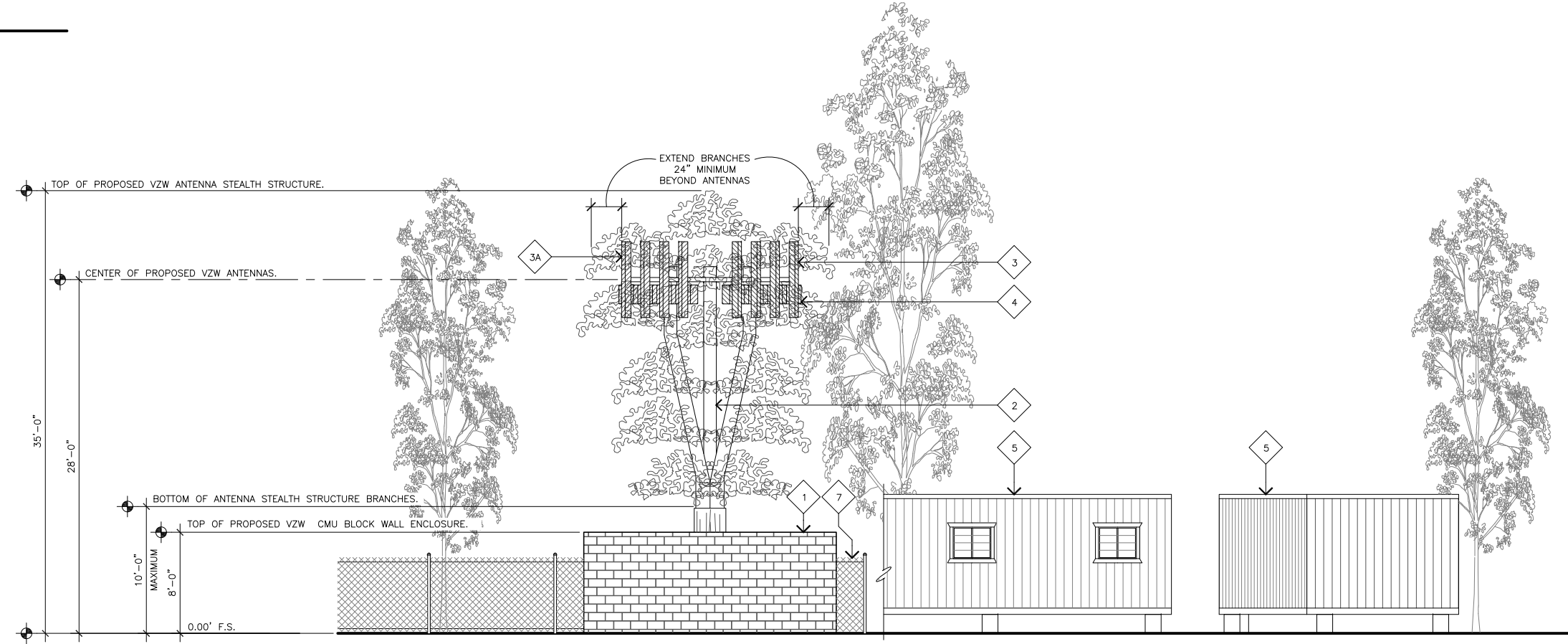


EAST ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6' 2

KEYNOTES

- 1 PROPOSED VZW 20'-0"x23'-4"x8'-0" HIGH CMU BLOCK WALL ENCLOSURE WITH CHAIN LINK TOPPER, TEXTURED TO MATCH EXISTING BUILDING.
- 2 PROPOSED VZW 35'-0" ANTENNA STEALTH STRUCTURE.
- 3 PROPOSED VZW ANTENNAS AT SECTOR "B" (4 PER SECTOR 12 TOTAL).
- 4 PROPOSED VZW RRU'S (4 PER SECTOR 12 TOTAL).
- 5 EXISTING TRAILER.
- 6 EXISTING TREE (BEYOND), TYPICAL.
- 7 EXISTING CHAIN LINK FENCE.



WEST ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6' 1

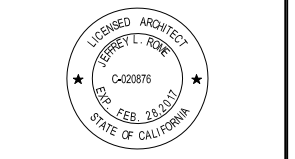
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P5	02/02/16	UTILITY COMMENTS	IB

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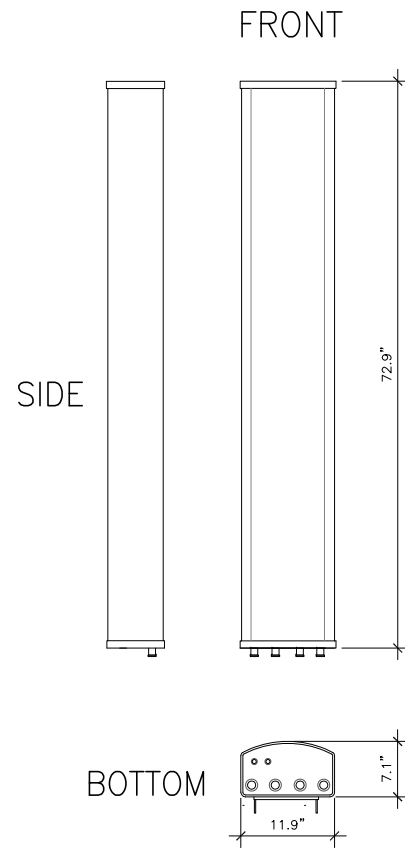
**SERRA**  
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SHEET TITLE:  
 ELEVATIONS

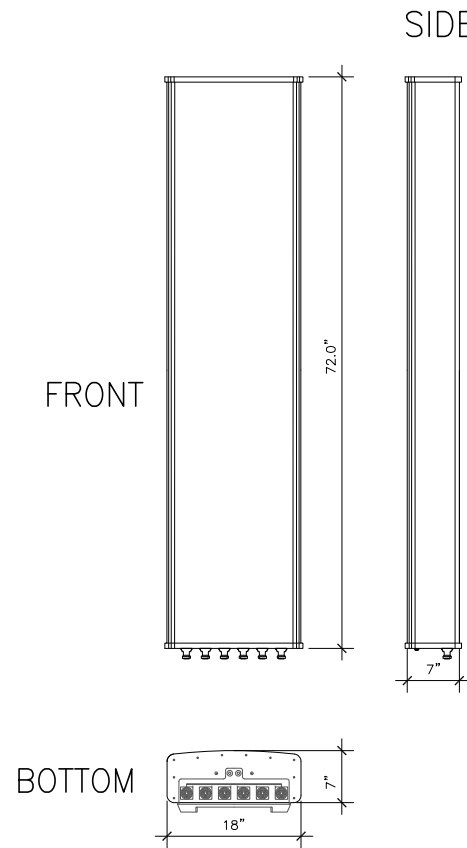
**A-2.1**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE AND DIMENSIONS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

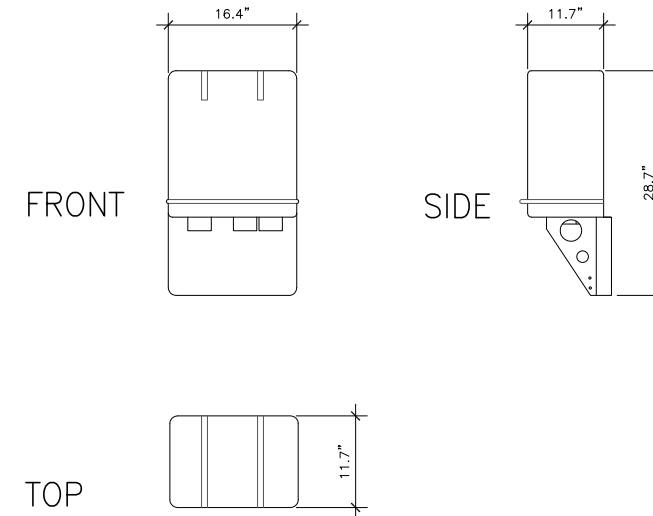
ANTENNA MATERIAL: GRP  
 ANTENNA COLOR: LIGHT GREY  
 DIMENSIONS, HxWxD: (72.9"x11.9"x7.1")  
 WEIGHT: 40.6 lbs  
 WIND LOAD: 617.7 N @ 150 km/h  
 138.9 lbf @ 150 km/h



ANTENNA MATERIAL: GRP  
 ANTENNA COLOR: LIGHT GRAY  
 DIMENSIONS, HxWxD: 72.0"x18"x7"  
 WEIGHT: 64.4 lbs  
 WIND LOAD @ 150 KMH: 233.4 lbf



COLOR: GRAY  
 DIMENSIONS, HxWxD: 28.7"x16.4"x11.7"  
 WEIGHT: 32.0 lbs



ANTENNA SPECIFICATIONS

SCALE: NONE **6**

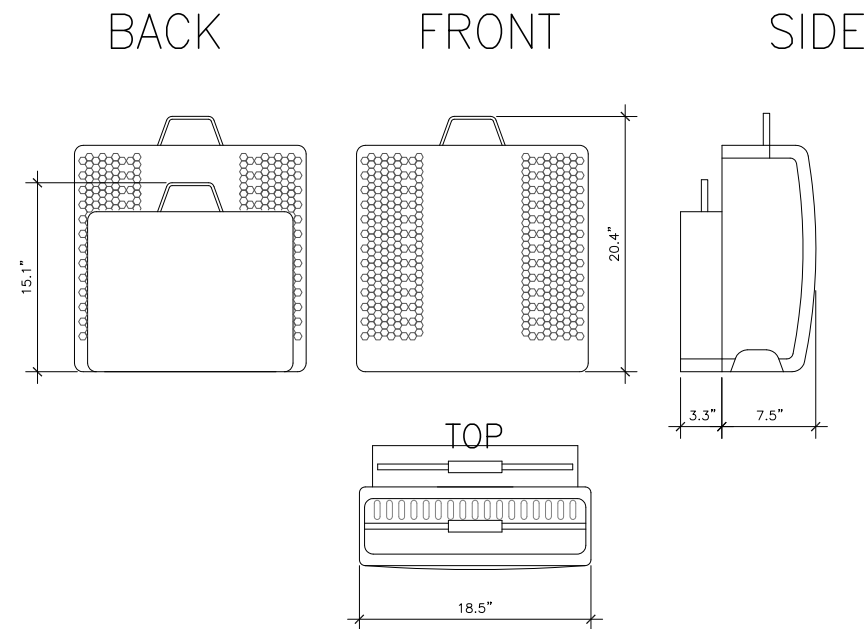
ANTENNA SPECIFICATIONS

SCALE: NONE **4**

RAYCAP SPECIFICATIONS

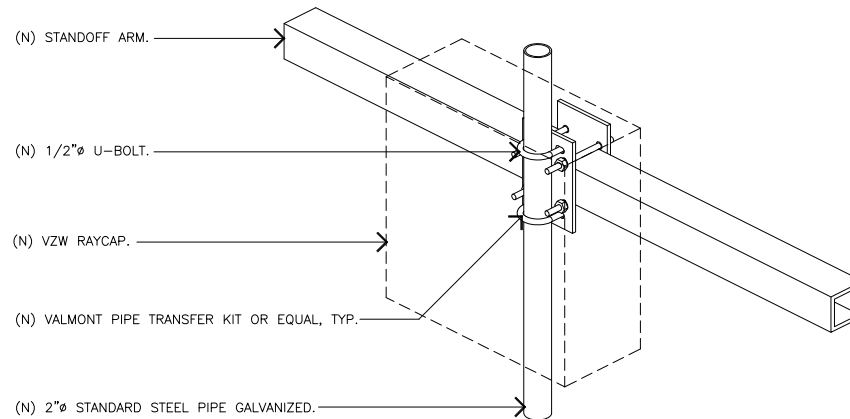
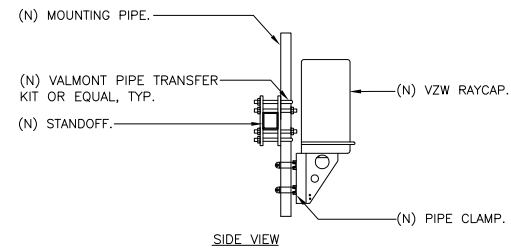
SCALE: NONE **2**

COLOR: LIGHT GRAY  
 DIMENSIONS, HxWxD: 18.5"x20.4"Wx7.5"D  
 WEIGHT: 58.0 LBS.



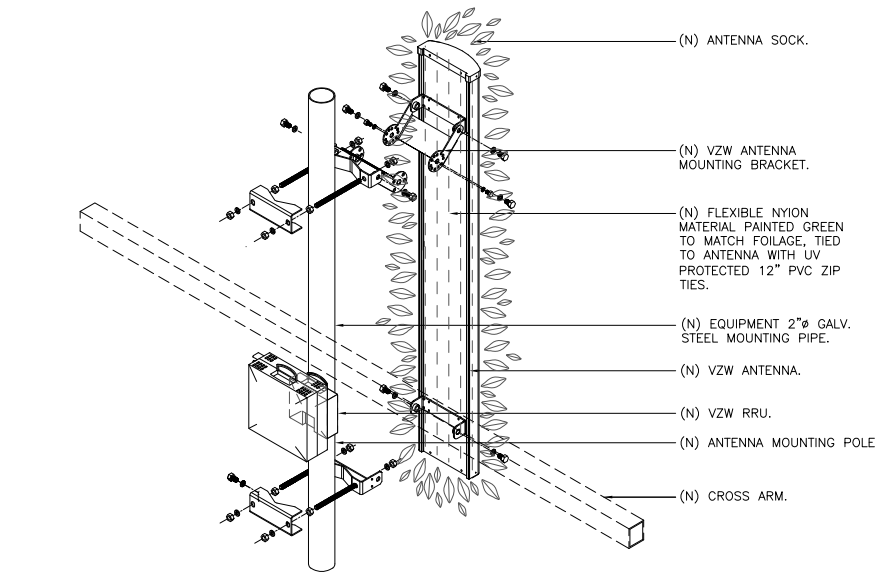
RRU/A2 SPECIFICATIONS

SCALE: NONE **5**



RAYCAP MOUNTING DETAIL

SCALE: NONE **3**



NOTES:  
 1. SEE POLE DRAWINGS FOR ADDITIONAL MOUNTING INFORMATION.  
 2. SEE ANTENNA MANUFACTURER SPECS FOR COMPLETE ANTENNA AND BRACKET SPECIFICATIONS.

ANTENNA/RRU WITH "SOCK" MOUNTING

SCALE: NONE **1**

ISSUE STATUS

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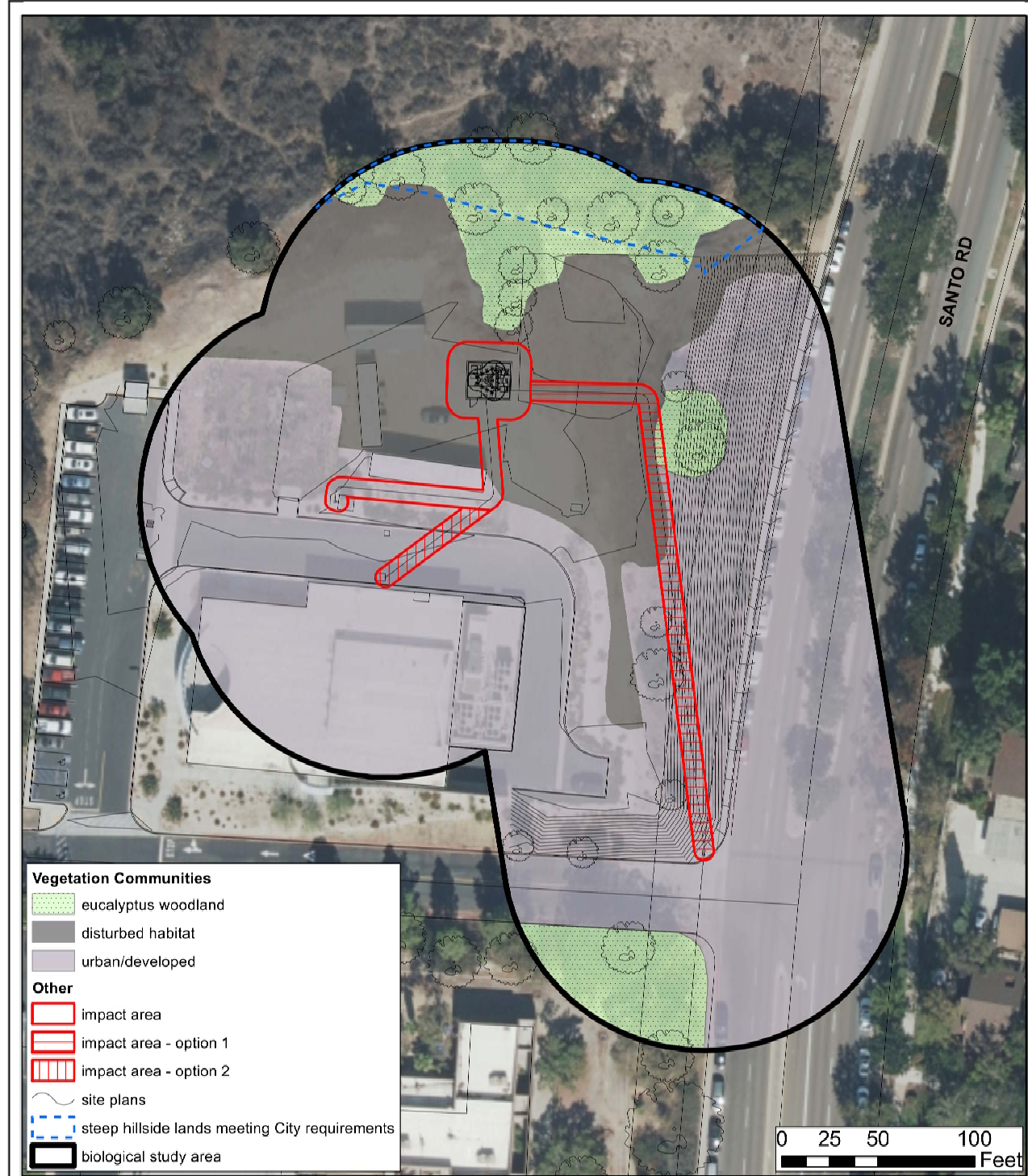
SHEET TITLE:  
 EQUIPMENT DETAILS

**A-3**

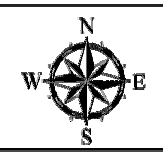
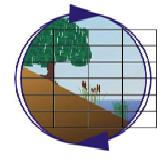
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JRA JOB NUMBER: 150620

M&A #15-086-01



- Vegetation Communities**
- eucalyptus woodland
  - disturbed habitat
  - urban/developed
- Other**
- impact area
  - impact area - option 1
  - impact area - option 2
  - site plans
  - steep hillside lands meeting City requirements
  - biological study area



**Biological Resources Map**  
 Verizon Wireless, Serra (MCE) Project  
 Aerial Source: SANDAG 2014

**Figure 3**

Merkel & Associates, Inc.

**ISSUE STATUS**

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**SERRA**  
 51156 SANTO ROAD  
 SAN DIEGO, CA 92124

SHEET TITLE:  
 BIOLOGICAL RESOURCES MAP

**A-4**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE AND/OR DIMENSIONS MAY VARY FOR REDUCED OR ENLARGED SHEET SIZES.